

**ROOF INSPECTION**

**IN RESPECT OF**

**Lynbrook House  
Stocks Lane  
Bristol  
BS14 7DG**

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**CLIENT**

**Mr & Mrs O'Hara**

**89 Whiteladies Road  
Clifton  
Bristol  
BS8 2NT**

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**DATE OF INSPECTION**

**30 September 2019**

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**MOH/mbo/19.0667**

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**PRIVATE AND CONFIDENTIAL**

Lynbrook House Stocks Lane Bristol BS14 7DG

## INSTRUCTIONS

We have been asked to carry out an inspection of the roof covering and ancillary items such as valleys and chimney stacks in relation to Lynbrook House Stocks Lane, Bristol, BS14 7DG. Please note that we have not carried out any inspection of the interior part or, indeed, other external sections such as walls, rainwater goods or joinery. We have also not carried out any detailed inspection of the outbuildings and no comment regarding these unseen parts can be provided.

### Main Covering

The main roof covering extends from left to right over the older part of the house with a front protruding section of similar gable pitched design. The main ridge runs parallel to the front of the building whilst the secondary ridge runs parallel to the left/right hand flank walls. Coverings comprise clay double and single Roman tiles with matching clay ridge tiles.

During the survey we noted evidence of slight deflection, particularly to the front central part adjacent to what is considered to be the left hand front dormer. There is also slight deflection to ridge sections on both the main parts and, indeed, the front gable protrusion. These are by no means unusual or particularly excessive for a building of this age and type and distortions are within acceptable limits. In relation to the slight sag to the slopes themselves, we have not had access to any timbers below and do suggest that a cautionary inspection be carried out to ensure that no issues in terms of split or damaged rafters are present at this particular point.

Tiles themselves appeared to be in satisfactory condition although one or two are losing their surface glaze although this is not excessive at the present time. No immediate replacement is necessary. We did note slight deterioration to an exposed ridge board adjacent to the upstand between the left and right main sections which is highlighted in adjacent photographs. For ease of reference, this is positioned close to a ridge vent/flue. Making good of any defective timbers should be considered although this can perhaps be pasted and treated in the interim period to minimize costs.

There are three dormers at the front together with two at the rear which appeared to be of timber frame construction under small pitched and tiled roofs. No obvious defects were noted to the tile coverings on these dormers.

Sloping valleys have been incorporated at the joint between the dormers and the main front and rear slopes with six at the front and four at the rear. There are also two slightly larger sloping valleys at the intersection between the main front slope and the protruding gable section. Valleys appeared to have been lined with lead. Additional valleys can be found on the rear right at the intersection between the main building and the slightly more modern rear two storey section. Valleys are notoriously prone to blockage and deterioration and can be a frequent source of water penetration internally which can cause deterioration to timbers and other materials. Regular checks on linings will be required with any blockage removed as soon as possible. No major debris was noted although one or two individual areas of slight deterioration are present,

particularly at the rear although this is not unexpected or particularly excessive. Cleaning out should be considered.

### **Right Hand single Storey Roof**

This is of a gable pitched design finished with clay double Roman tiles with matching ridge tiles. The front and rear slopes are of a slightly different pitch with a sloping valley formed between the two sections.

There was no sag or deflection noted to these particular roof coverings suggesting supporting timbers are suitable to carry the imposed load upon them. The ridge is well aligned and the gradient of slopes is appropriate for a tile covering of this type.

Tiles themselves were found to be in satisfactory condition with no indication of obvious deterioration present.

Lead flashings have been incorporated at the joint between this particular roof and the main two storey part of the building. Flashings were found to be satisfactory during the survey.

### **Rear Two Storey Section**

This particular roof is split into two sections being of a gable pitched design with ridge running parallel to the left/right hand flank walls. It is clad with clay pan tiles with matching clay ridge tiles. A dormer is also incorporated on the left hand slope with valleys also present at the intersection with the main roof itself.

During the inspection there was no indication of sag or deflection to the roof slopes suggesting supporting timbers are of a suitable size to carry the imposed load upon them. Ridge sections are well aligned and the gradient of slopes is appropriate for a tile covering of this type.

Tiles themselves were in satisfactory condition although very minor cracking is present to the cement verge overhangs on the gable ends where filling will be required to prevent further deterioration. Failure to do so may allow water penetration internally.

Lead flashings have been incorporated at the joint between the two separate sections of the roof. These appeared to be modern with no obvious deterioration present from our vantage points.

The valleys between the left hand dormer and the adjacent roof slopes has been lined with lead. No obvious defects or debris build up were apparent from our vantage points.

## **Rear Single Storey**

This particular roof is of a pitched design clad with clay double Roman tiles and it is positioned over the Morning Room. There was no sag or deflection suggesting supporting timbers are of a suitable size to carry the imposed load upon them. The ridge is well aligned and the gradient of slopes is appropriate for a tile covering of this type.

Tils themselves appeared to be in satisfactory condition with no indication of obvious damage noted.

Lead flashings have been incorporated between this particular roof and the main rear two storey annex. Flashings were satisfactory from our vantage points at ground level.

## **Chimney Stacks**

The individual stacks have been highlighted in photographs attached to this report. They are of brick construction and of varying ages with the front small right hand stack clearly being a later addition. The stacks themselves showed evidence of very slight distortion and leaning which is typical of buildings constructed at this particular time. Distortions are within acceptable limits although it is important that regular maintenance be carried out to brickwork and pointing to prevent further deterioration.

Brickwork and pointing itself is deteriorating as highlighted in adjacent photographs. Raking out and repointing is recommended and, at this time, any spalled bricks should ideally be replaced.

Open pointing is also present on the upper parts of the stacks and minor cracking is also identified to the cement flaunchings holding pots themselves. Filling and making good should be considered.

Where flues are currently open we strongly recommend that these be provided with pots or venting cowls to prevent bird, water or debris entry.

Lead flashings and soakers have been incorporated around the base of the chimney stacks at the junction with the adjacent roof slopes. Flashings appeared to be satisfactory from our vantage points and are relatively modern in relation to the age of the building. We cannot comment on their watertightness as no access was given to the internal part of the building at the time of our inspection.

**Action: Overhaul chimney stacks in terms of repointing together with provision of appropriate pots and venting cowls where necessary.**

**OSBORNE IRISH ASSOCIATES**  
**Chartered Surveyors**

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**M O'HARA, BSc FRICS**

Lynbrook House Stocks Lane Bristol BS14 7DG

## PHOTOGRAPHIC SCHEDULE

**Aerial view of roof**



**Aerial view taken from west**



**Rear roof slope – general view**



**Valley detail at joint between main roof and “annex”**



**Front gable roof – slightly uneven ridge**



**View of front gable roof**



Lynbrook House Stocks Lane Bristol BS14 7DG

**Rear left hand dormer**



**Valley/roof detail – right hand main covering**





**Valley detail – note debris at base of sloping section**



**Right hand gable area**



**Roof of rear “annex” – right hand slope**



**Roof/dormer of rear “annex” left hand slope**



**Cracked cement verge – rear gable**



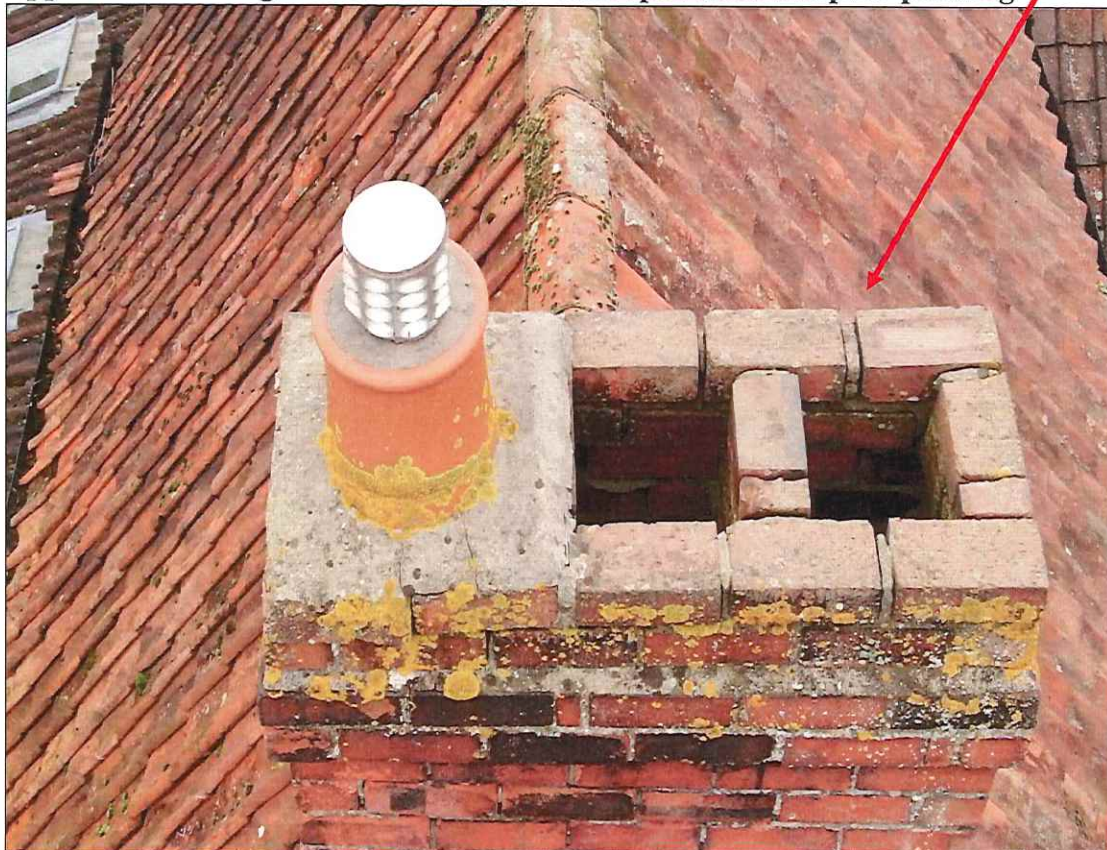
**Rot to exposed ridge timber**



**Left hand front dormer – minor debris in valley**



**Upper section of right hand rear stack – note open flues and poor pointing**



**Right hand rear stack**



**Large front right hand stack – open flue and poor pointing**



**View of roof/chimney looking west**



**Small right hand stack**



West stack



West stack





**Front right hand (large) stack**



**View of rear stack**

